



www.JohnsCreekGA.gov
678-512-3200 ~ 678-512-3303(fax)
12000 Findley Road, Suite 400, Johns Creek, GA 30097

Chattahoochee River Corridor

Building, Pool, Fence, Retaining Wall Permits Checklist

The following items are needed for all improvements* within the 2000' Chattahoochee River Corridor:

1. Completed Building, Pool, Fence or Retaining Wall permit Application
2. Four copies of the house location plan per the attached River Corridor HLP Checklist. An as-built survey may be needed to determine and delineate existing clearing and impervious areas.
3. Chattahoochee River Corridor As-Built Survey Hold & Release Affidavit Form (attached) to be completed and submitted with building permit application.
4. Other requirements for permits:
 - Completed permit application and fee
 - Fulton County Water & Sewer Tap-in Permit (if applicable).
 - Fulton County Health Department Septic and Well Permits (if applicable).
 - Contractors Business License (if applicable)
 - Residential Erosion & Sedimentation Control and Tree Protection Agreement.
 - Retaining Wall Indemnification Agreement and Plan Stamped by Professional Engineer (if applicable).



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Chattahoochee River Corridor House Location Plan (CRC-HLP) for New Homes

If a lot is located in a residential subdivision that is within the 2000-foot Chattahoochee River Corridor, a Chattahoochee River Corridor House Location Plan (CRC-HLP) must be submitted and approved prior to obtaining a Building Permit. This plan must include the vulnerability categories on the lot. These categories relate to the maximum amount of land clearing disturbance and impervious surface that is allowed. The plan must also include the actual amount of land clearing and impervious surface existing and proposed. It is required that the CRC-HLP be prepared by a registered Land Surveyor, Professional Engineer, or Landscape Architect. The plan must be legible, drawn to scale, and it must show the limits of clearing, any existing or proposed improvements, vulnerability category lines, and the location of erosion control devices. The plan must also include a table to indicate the amounts of allowed and actual clearing and impervious surface (see page 2). These amounts must correspond with those shown on the Final Plat as approved by the Atlanta Regional Commission. A CRC-HLP should show the following (as applicable) on the plan:

- a. The location of each area by vulnerability category and calculations of impervious surface and clearance by category.
- b. Boundary lines of the lot with distances & bearings.
- c. Location & names of all abutting streets or other street rights-of-way.
- d. Minimum required front, side & rear building setback lines with dimensions.
- e. The approximate outline of all buildings, driveways, parking areas, swimming pools, recreational courts, patios, accessory structures and other improvements existing or proposed on the property, and dimensions of buildings and distances between all structures and the nearest property lines.
- f. Location & dimensions of any water, sewer, drainage or other easements, storm water management facilities, septic tank, and septic tank drain field located on the lot.
- g. Subdivision name, lot & block designation.
- h. North arrow & scale.
- i. 100-year floodplain limits, any applicable stream buffers or other special building setback lines.
- j. Any other applicable requirements of the Zoning Resolution or conditions of zoning approval.

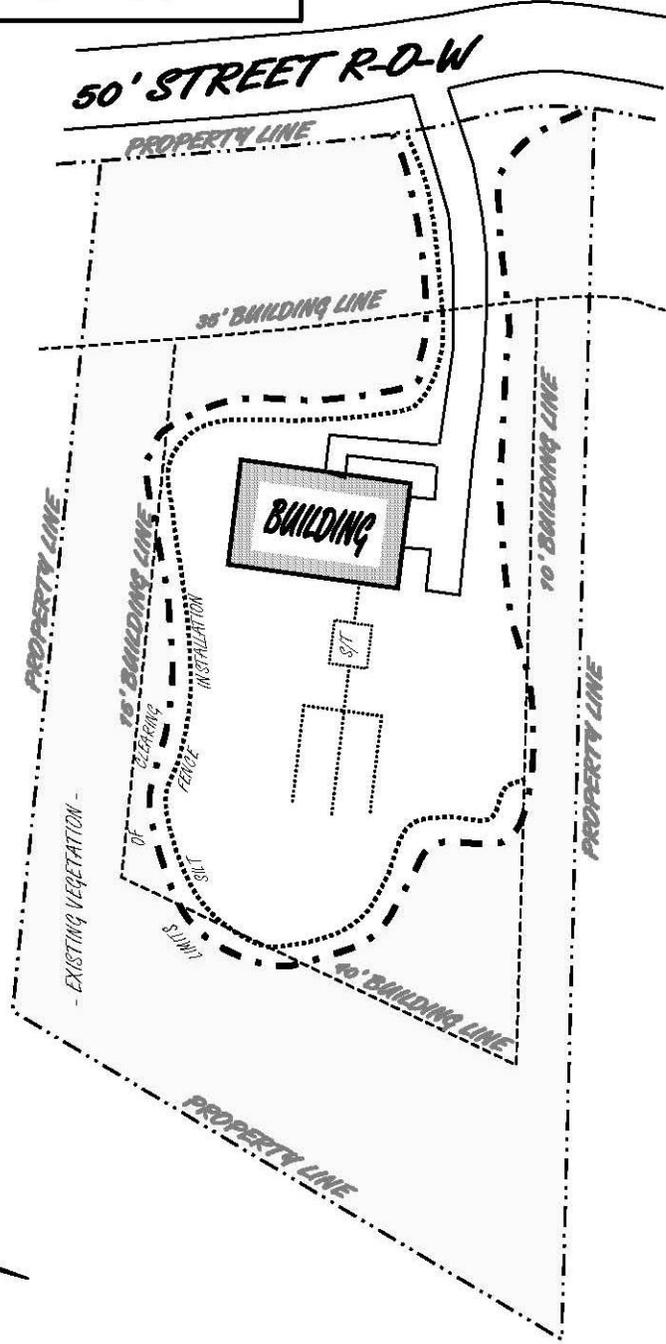
Two sample CRC HLP drawings, one on public sewer and the other on private septic tank, are included in the next two pages.

LEGEND

- PROPERTY LINE
- BUILDING SET BACK LINE
- LIMITS OF CLEARING
- SET FENCE LINE
- BUILDING FOOT PRINT
- SEPTIC TANK & DRAIN FIELD

NOTES:

- HOUSE LOCATION PLAN (HLP) MUST BE DRAWN TO EITHER AN ARCHITECTS OR ENGINEERS SCALE.
- NORTH ARROW TO INDICATE NORTHERLY DIRECTION SHOULD APPEAR ON PLAN.



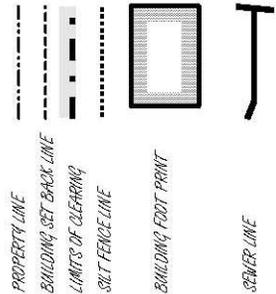
Vulnerability Category	A	B	C	D	E	F	TOTAL
Total Lot Area (Sq. Ft.)							
Cleared Proposed (Sq. Ft.)							
Maximum Cleared Allowed (Sq. Ft.)							
Impervious Surface Proposed (Sq. Ft.)							
Maximum Impervious Surface Allowed (Sq. Ft.)							

SAMPLE CHATTAHOOCHEE RIVER CORRIDOR
 HOUSE LOCATION PLAN ON SEPTIC TANK

SUBDIVISION NAME
 LOT NUMBER & BLOCK
 STREET ADDRESS

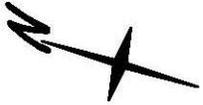
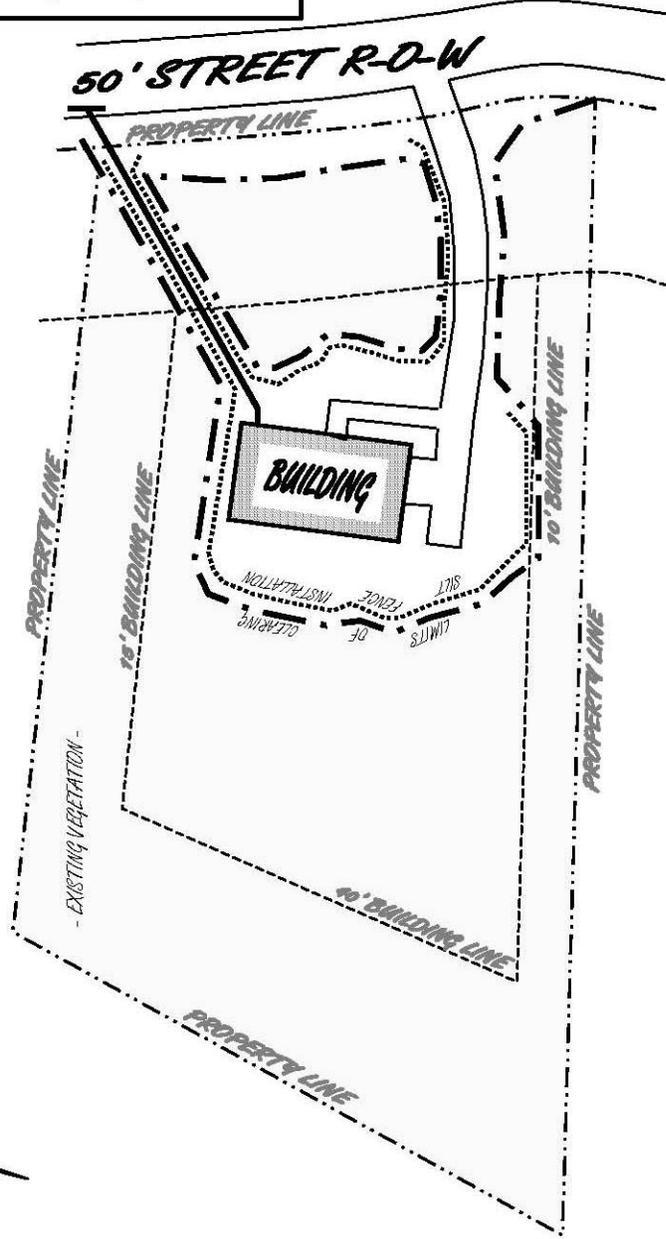
SCALE: (ARCHITECT OR ENGINEER) DATE

LEGEND



NOTES:

- HOUSE LOCATION PLAN (HLP) MUST BE DRAWN TO EITHER AN ARCHITECTS OR ENGINEERS SCALE.
- NORTH ARROW TO INDICATE NORTHERLY DIRECTION SHOULD APPEAR ON PLAN.



SAMPLE CHATTAHOOCHEE RIVER CORRIDOR
HOUSE LOCATION PLAN ON SEWER

SUBDIVISION NAME
LOT NUMBER & BLOCK
STREET ADDRESS

SCALE: (ARCHITECT OR ENGINEER)
DATE

Vulnerability Category	A	B	C	D	E	F	TOTAL
Total Lot Area (Sq. Ft.)							
Cleared Proposed (Sq. Ft.)							
Maximum Cleared Allowed (Sq. Ft.)							
Impervious Surface Proposed (Sq. Ft.)							
Maximum Impervious Surface Allowed (Sq. Ft.)							



Chattahoochee River Corridor As-Built Survey Hold & Release Affidavit Form

This affidavit must be completed & submitted in conjunction with the building permit application. Please type or print.

One (1) Additional Completed Copy Must Be Submitted with Building Permit Application

Article 10, Section 10.3.4 of the Development Regulations: If a lot is located in the Chattahoochee River Corridor, a Certificate of Occupancy shall not be issued for the structure or other improvements until conformance to the provisions or other requirements of the Residential Site Plan have been field verified by a City Inspector. A certified as-built survey prepared by Registered Land Surveyor may be required where, in the opinion of the Director, the river corridor requirements may not have been met.

Building Permit Number **(provided by Building Permits Staff):** _____

Subdivision: _____ Unit/Phase: _____ Lot: _____

Site Address: _____

Contractor Name: _____ Phone: _____

Contractor Company Address: _____

City: _____ State: _____ Zip: _____

Property Owner's Name: _____ Phone: _____

Property Owner's Address: _____

City: _____ State: _____ Zip: _____

My signature hereon indicates my understanding that I may be required to submit an as-built survey by a registered land surveyor for approval prior to the issuance of a Certificate of Occupancy (CO) or a Certificate of Completion (CC). I understand that a "Hold" on the issuance of the CO/CC will not be released until the survey is submitted to and approved by the Department of Community Development. The survey must indicate both the allowable amounts of impervious surface area and land disturbance area under the approved residential site plan as well as the actual constructed impervious surface and land disturbance area.

Contractor's Printed Name: _____

Contractor's Signature: _____ Date: _____

Property Owner's Printed Name: _____

Property Owner's Signature: _____ Date: _____