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Chattahoochee River Corridor *Building, Pool, Fence, Retaining Wall Permits Checklist*

The following items are needed for all improvements* within the 2000' Chattahoochee River Corridor:

1. Completed Building, Pool, Fence or Retaining Wall permit Application
2. Four copies of the house location plan per the attached River Corridor HLP Checklist. An as-built survey may be needed to determine and delineate existing clearing and impervious areas.
3. Chattahoochee River Corridor As-Built Survey Hold & Release Affidavit Form (attached) to be completed and submitted with building permit application.
4. Other requirements for permits:
 - Completed permit application and fee
 - Fulton County Water & Sewer Tap-in Permit (if applicable).
 - Fulton County Health Department Septic and Well Permits (if applicable).
 - Contractors Business License (if applicable)
 - Residential Erosion & Sedimentation Control and Tree Protection Agreement.
 - Retaining Wall Indemnification Agreement and Plan Stamped by Professional Engineer (if applicable).



Chattahoochee River Corridor
House Location Plan (CRC-HLP) for Additions or Swimming Pools, Etc.

If a lot is located in a residential subdivision that is within the 2000-foot Chattahoochee River Corridor, a Chattahoochee River Corridor House Location Plan (CRC-HLP) and as-built survey must be submitted and approved prior to obtaining a Building Permit. This plan/survey must include the vulnerability categories on the lot. These categories relate to the maximum amount of land disturbance and impervious surface that is allowed. This plan must also include the actual amount of land disturbance and impervious surface existing and proposed. It must be legible, drawn to scale, and it must show the limits of disturbance including existing and proposed, any existing or proposed improvements, vulnerability category lines, and the location of erosion control devices. The plan must also include a table to indicate the amounts of allowed and actual land disturbance and impervious surface. These amounts must correspond with those shown on the Final Plat as approved by the Atlanta Regional Commission. When there are discrepancies with the amounts shown, the CRC-HLP may be required to be prepared by a Registered Land Surveyor, Landscape Architect, or Engineer. A CRC-HLP should also show the following (as applicable) on the plan:

1. The location of each area by vulnerability category and calculations of impervious surface and land disturbance by category.
2. Boundary lines of the lot with distances & bearings.
3. Location & names of all abutting streets or other street rights-of-way.
4. Minimum required front, side & rear building setback lines with dimensions.
5. The approximate outline of all buildings, driveways, parking areas, swimming pools, recreational courts, patios, accessory structures and other improvements existing or proposed on the property, and dimensions of buildings and distances between all structures and the nearest property lines.
6. Location & dimensions of any water, sewer, drainage or other easements, storm water management facilities, septic tank, and septic tank drain field located on the lot.
7. Subdivision name, lot & block designation.
8. North arrow & scale.
9. 100-year floodplain limits, any applicable stream buffers or other special building setback lines.
10. Any other applicable requirements of the Zoning Resolution or conditions of zoning approval.

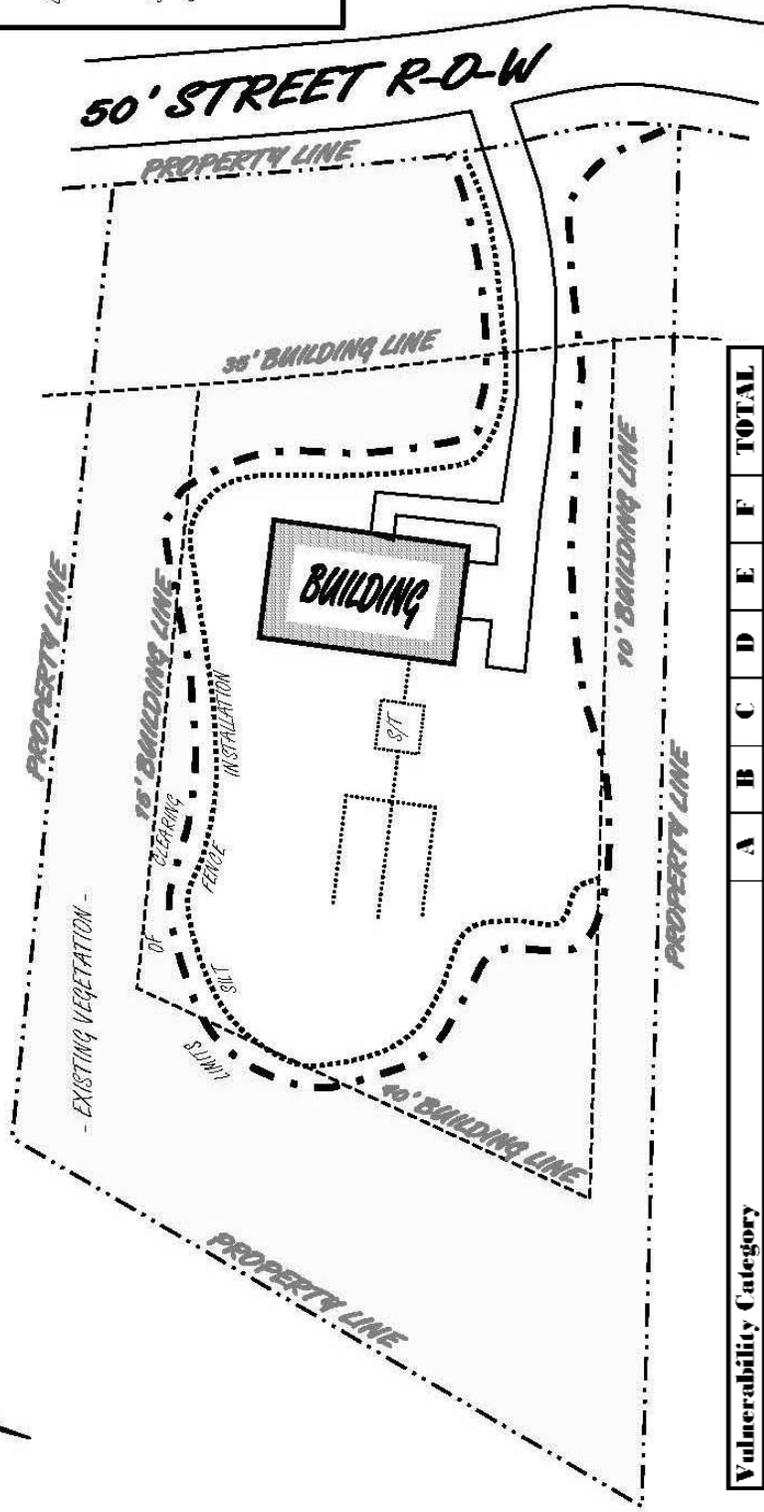
Two sample CRC HLP drawings, one on public sewer and the other on private septic tank, are included on the next two pages.

LEGEND

- PROPERTY LINE
- - - BUILDING SET BACK LINE
- · - · - LIMITS OF CLEARING
- · · · · SUIT FENCE LINE
- [] BUILDING FOOT PRINT
- [] SEPTIC TANK & DRAIN FIELD

NOTES:

- HOUSE LOCATION PLAN (HLP) MUST BE DRAWN TO EITHER AN ARCHITECTS OR ENGINEERS SCALE.
- NORTH ARROW TO INDICATE NORTHERLY DIRECTION SHOULD APPEAR ON PLAN.



SAMPLE CHATTAHOOCHEE RIVER CORRIDOR
 HOUSE LOCATION PLAN ON SEPTIC TANK

SUBDIVISION NAME
 LOT NUMBER & BLOCK
 STREET ADDRESS

SCALE: (ARCHITECT OR ENGINEER) DATE

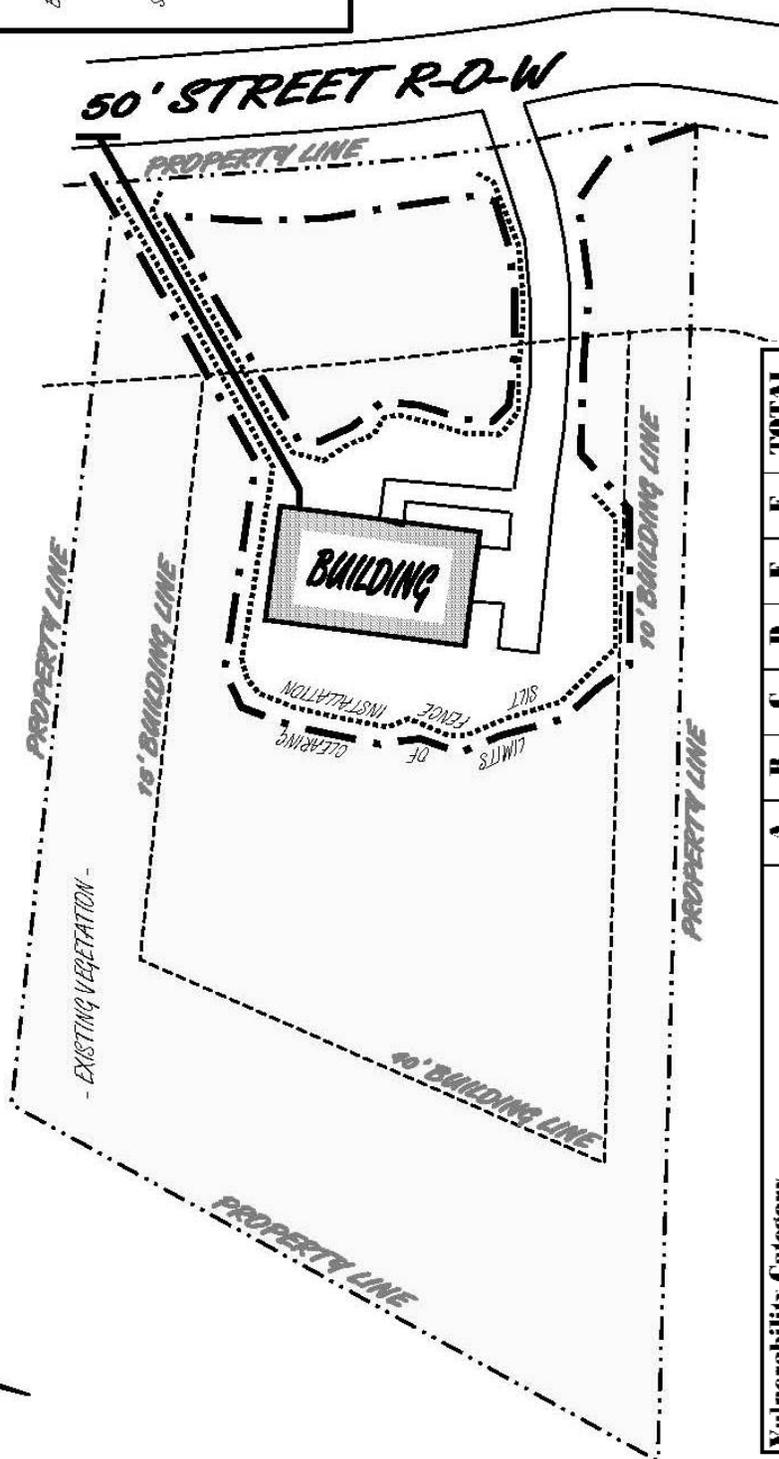
Vulnerability Category	A	B	C	D	E	F	TOTAL
Total Lot Area (Sq. Ft.)							
Land Disturbance Allowed (Sq. Ft.)							
Existing Land Disturbance (Sq. Ft.)							
Proposed Land Disturbance (Sq. Ft.)							
Total Land Disturbance (Sq. Ft.)							
Impervious Surface Allowed (Sq. Ft.)							
Existing Impervious Surface (Sq. Ft.)							
Proposed Impervious Surface (Sq. Ft.)							
Total Impervious Surface (Sq. Ft.)							

LEGEND

-  PROPERTY LINE
-  BUILDING SET-BACK LINE
-  LIMITS OF CLEARING
-  SILT FENCE LINE
-  BUILDING FOOT PRINT
-  SEWER LINE

NOTES:

- HOUSE LOCATION PLAN (HLP) MUST BE DRAWN TO EITHER AN ARCHITECTS OR ENGINEERS SCALE.
- NORTH ARROW TO INDICATE NORTHERLY DIRECTION SHOULD APPEAR ON PLAN.



SAMPLE CHATTAHOOCHEE RIVER CORRIDOR
HOUSE LOCATION PLAN ON SEWER

SUBDIVISION NAME _____

LOT NUMBER & BLOCK _____

STREET ADDRESS _____

SCALE: (ARCHITECT OR ENGINEER) _____ DATE _____

Vulnerability Category	A	B	C	D	E	F	TOTAL
Total Lot Area (Sq. Ft.)							
Land Disturbance Allowed (Sq. Ft.)							
Existing Land Disturbance (Sq. Ft.)							
Proposed Land Disturbance (Sq. Ft.)							
Total Land Disturbance (Sq. Ft.)							
Impervious Surface Allowed (Sq. Ft.)							
Existing Impervious Surface (Sq. Ft.)							
Proposed Impervious Surface (Sq. Ft.)							
Total Impervious Surface (Sq. Ft.)							



Chattahoochee River Corridor As-Built Survey Hold & Release Affidavit Form

*This affidavit must be completed & submitted in conjunction with the building permit application. Please type or print.
One (1) Additional Completed Copy Must Be Submitted with Building Permit Application*

Article 10, Section 10.3.4 of the Development Regulations: If a lot is located in the Chattahoochee River Corridor, a Certificate of Occupancy shall not be issued for the structure or other improvements until conformance to the provisions or other requirements of the Residential Site Plan have been field verified by a City Inspector. A certified as-built survey prepared by Registered Land Surveyor may be required where, in the opinion of the Director, the river corridor requirements may not have been met.

Building Permit Number (*provided by Building Permits Staff*): _____

Subdivision: _____ Unit/Phase: _____ Lot: _____

Site Address: _____

Contractor Name: _____ Phone: _____

Contractor Company Address: _____

City: _____ State: _____ Zip: _____

Property Owner's Name: _____ Phone: _____

Property Owner's Address: _____

City: _____ State: _____ Zip: _____

My signature hereon indicates my understanding that I may be required to submit an as-built survey by a registered land surveyor for approval prior to the issuance of a Certificate of Occupancy (CO) or a Certificate of Completion (CC). I understand that a "Hold" on the issuance of the CO/CC will not be released until the survey is submitted to and approved by the Department of Community Development. The survey must indicate both the allowable amounts of impervious surface area and land disturbance area under the approved residential site plan as well as the actual constructed impervious surface and land disturbance area.

Contractor's Printed Name: _____

Contractor's Signature: _____ Date: _____

Property Owner's Printed Name: _____

Property Owner's Signature: _____ Date: _____